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A1

Location Plan Key

Blue Line Site Boundary

Red Line Boundary

P04	Tender Drawings	24/07/2024
P03	Planning Issue	20/06/2024
P02	Planning Issue	03/05/2024
P01	Preliminary Issue to Client	26/04/2024
Rev	Description	Date



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EMPLOYER

PROJECT ADDRESS

Camden Street
London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

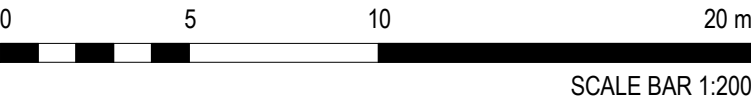
Connisborough Block Plan

SUITABILITY CODE

D2 - Suitable for Tender

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:200	GS	GS	BLR	24/07/2024

PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
35120	BGL	A1	ZZ	DR	A	11001	P04



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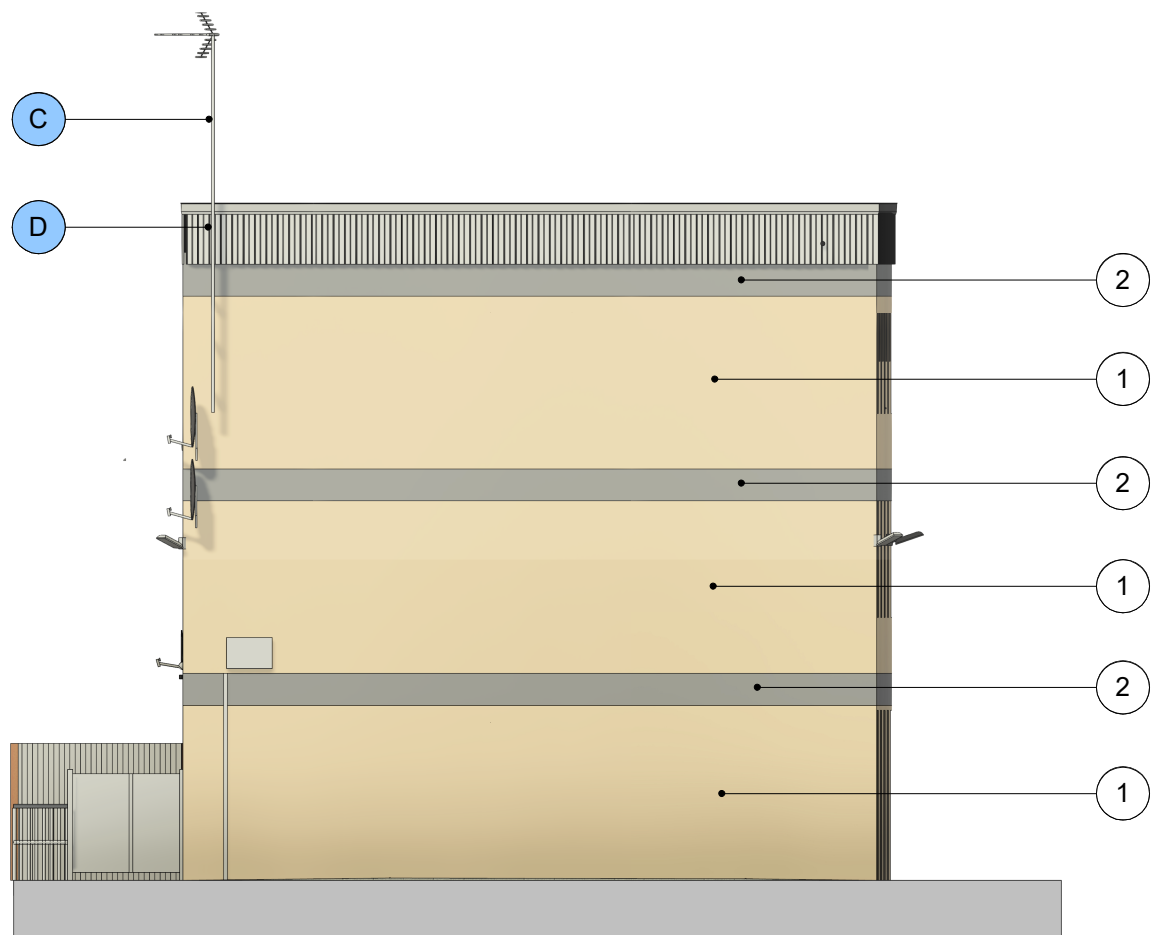
A1



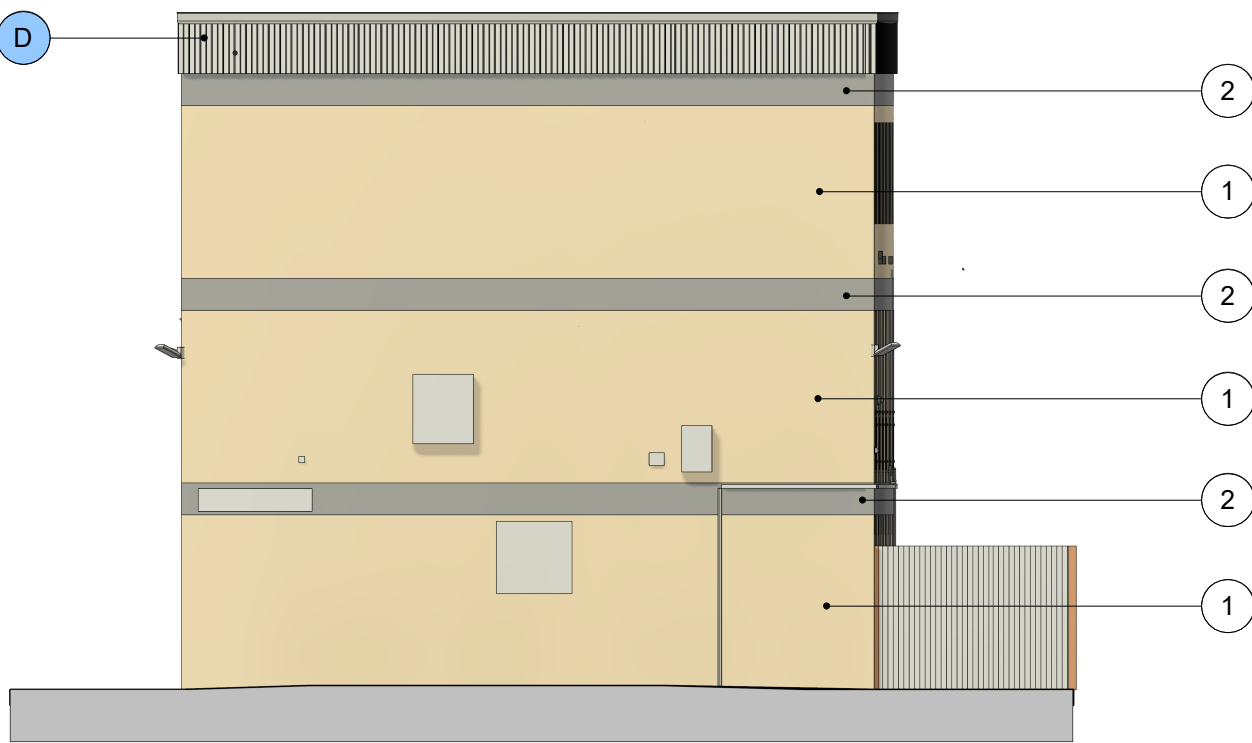
1 - Connisborough Proposed North Elevation
1 : 100



2 - Connisborough Proposed South Elevation
1 : 100



3 - Connisborough Proposed East Elevation
1 : 100



4 - Connisborough Proposed West Elevation
1 : 100

Proposed Material Types

- 1 Structerm Struc-Dash Render, Buff
Render Colour to Closely Match Existing Brick
- 2 Structerm Struc-Dash Render, Grey
Render Colour to Closely Match Existing Concrete Banding
- 3 Structerm Struc-Dash Render, White
Render Colour to Closely Match Existing Concrete Columns

Existing Material Types

- A Existing Black Juliet Balconies - Reinstated
- B Existing Green Walkway Balustrade - Retained
- C Existing Varied Colour Elevational Fixtures - Retained
- D Existing Grey Corrugated Steel Fascia - TBC if retained
- E Existing White uPVC - Retained Existing Windows



Connisborough Site Plan
1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
P04	Planning Issue	03/05/2024
P03	Preliminary Issue to Client	26/04/2024
P02	Preliminary Issue to Client	12/04/2024
P01	Preliminary Issue to Client	27/03/2024
Rev	Description	Date

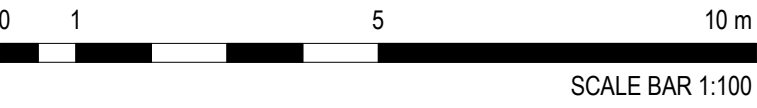
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	CLIENT	
	Contact Camden Reception 5 Pancras Square London NW1 4AG t: 020 7974 4444	
	EMPLOYER	

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Camden Street
London
NW1 0LY

PROJECT NAME
Curnock Estate-Retrofit Works

DRAWING TITLE
Proposed Elevations

SUITABILITY CODE D2 - Suitable for Tender									
SCALE 1:100	DRAWN FG	CHECKED GS	APPROVED BLR	DATE 24/07/2024					
PROJ NO 35120	AUTHOR BGL	VOLUME A1	LEVEL ZZ	DOCTYP DR	ROLE A	DRW NO 14000	REV NO P06		



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Unit Types

Please refer to 16000 series for full unit type layout information.



Conisborough Site Plan

1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
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P02	Preliminary Issue to Client	12/04/2024
P01	Preliminary Issue to Client	27/03/2024
Rev	Description	Date



PROJECT ADDRESS

Camden Street
London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

Existing Ground Floor & First Floor Plan

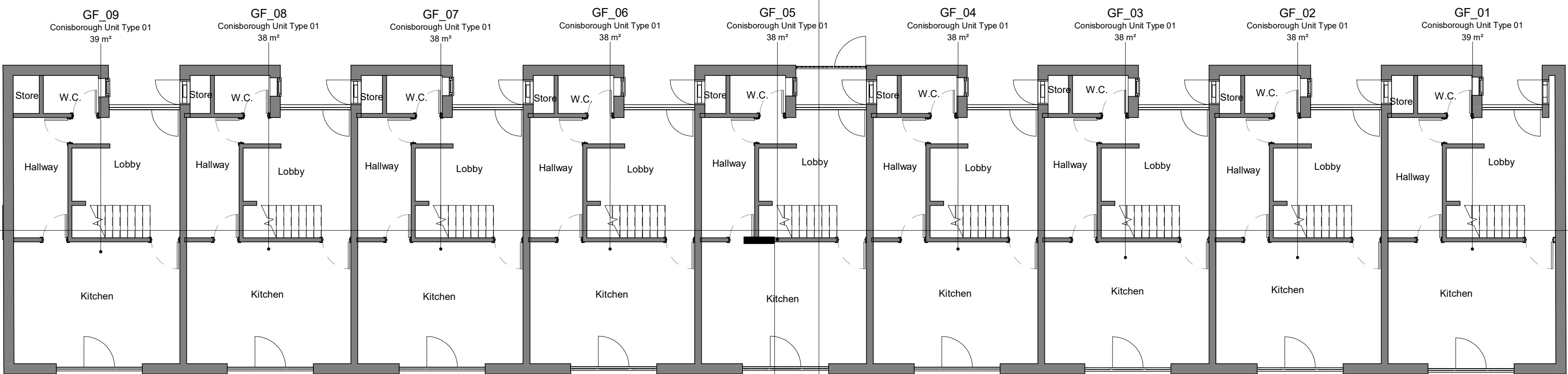
SUITABILITY CODE

D2 - Suitable for Tender

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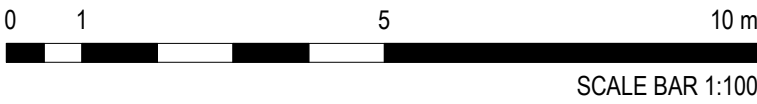
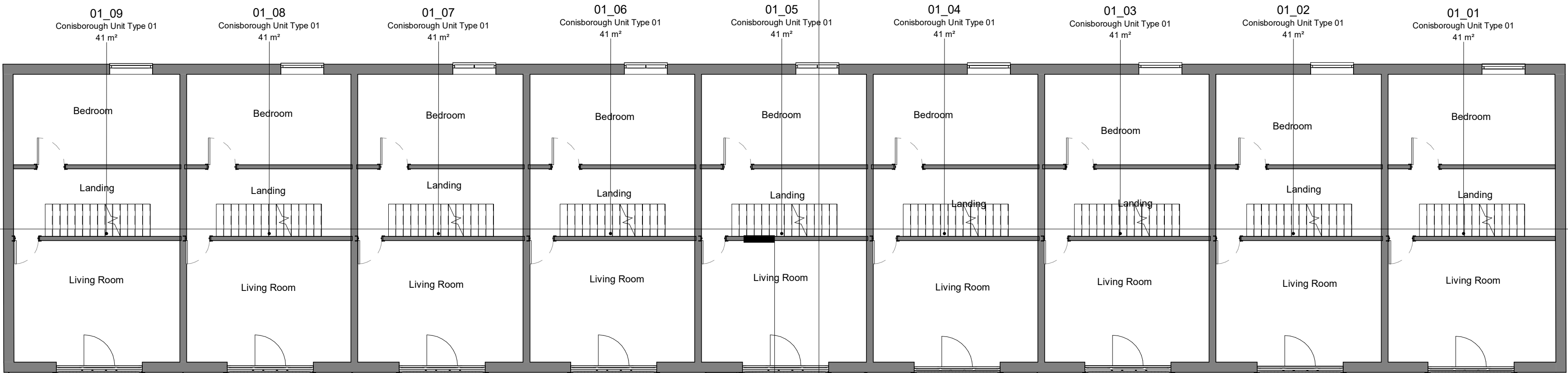
1 - Existing Conisborough Ground Floor Plan

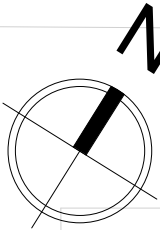
1 : 100



2 - Existing Conisborough First Floor Plan

1 : 100





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A1

External Wall Insulation Types

External Wall Insulation Type 01

External Wall Insulation Type 02

Please refer to 21000 series for full information of EWI design and specifications.

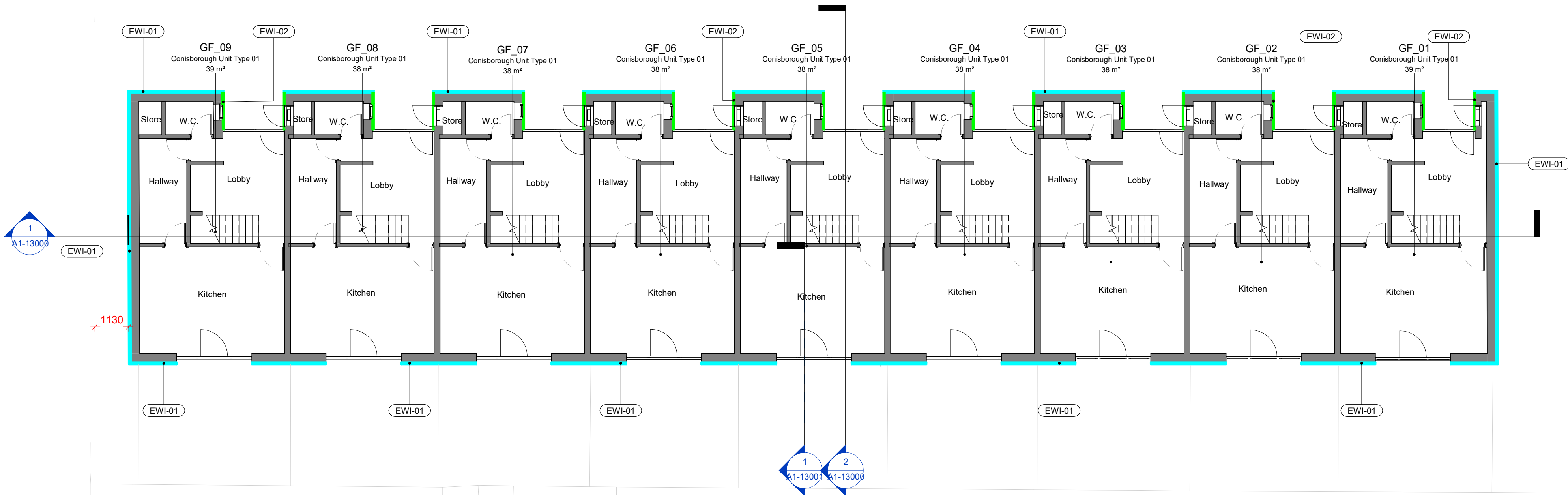
Please refer to Structherm Project Specification '11578.S001 (EWI E1) NSC-R-SIL-LR (P2)' document for full EWI specification.

Unit Types

Please refer to 16000 series for full unit type layout information.

1 - Proposed Conisborough Ground Floor Plan

1 : 100



Conisborough Site Plan

1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
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Camden Street
London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

Proposed Ground Floor & First Floor Plan w/ EWI Strategy

SUITABILITY CODE

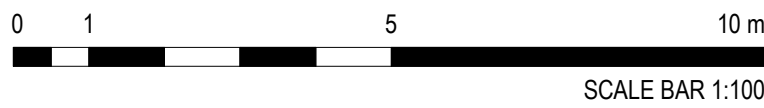
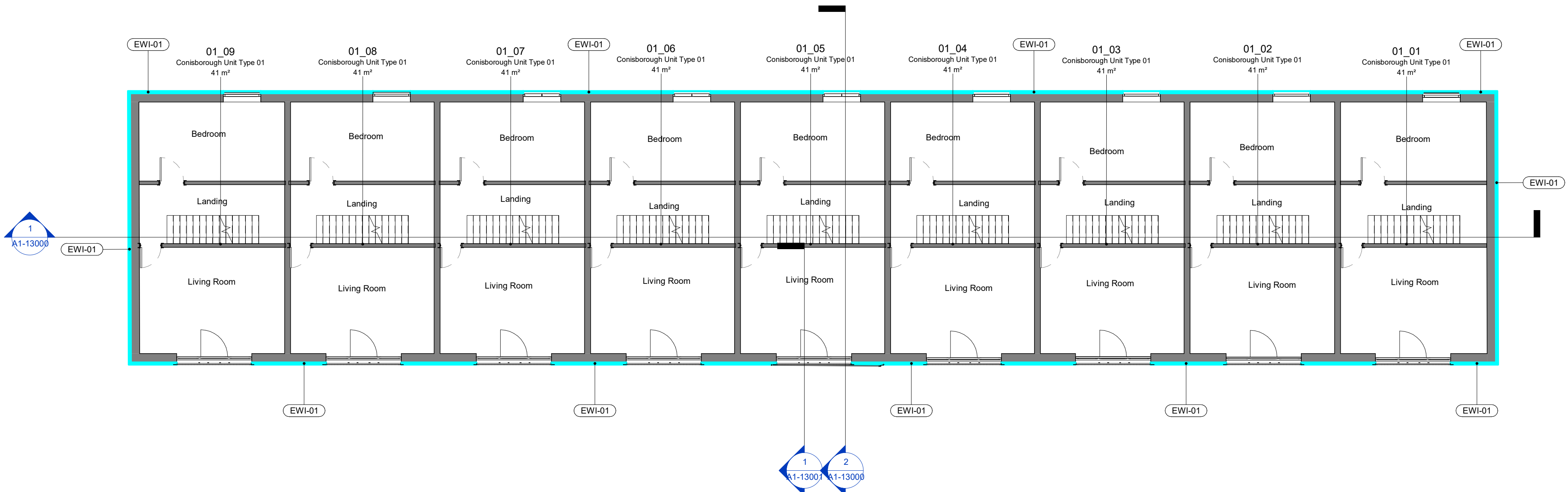
D2 - Suitable for Tender

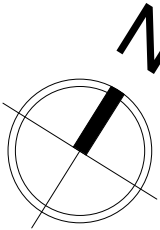
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1:100	FG	GS	BLR	24/07/2024

PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
35120	BGL	A1	ZZ	DR	A	12000	P06

2 - Proposed Conisborough First Floor Plan

1 : 100





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A1

Unit Types

Please refer to 16000 series for full unit type layout information.



1 - Existing Conisborough Second Floor Plan

1 : 100



Conisborough Site Plan

1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
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EMPLOYER

PROJECT ADDRESS

Camden Street
London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

Existing Second Floor & Roof Plan

SUITABILITY CODE

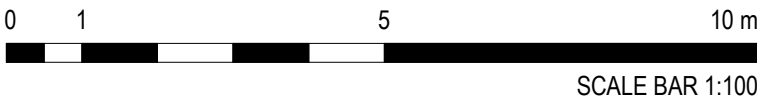
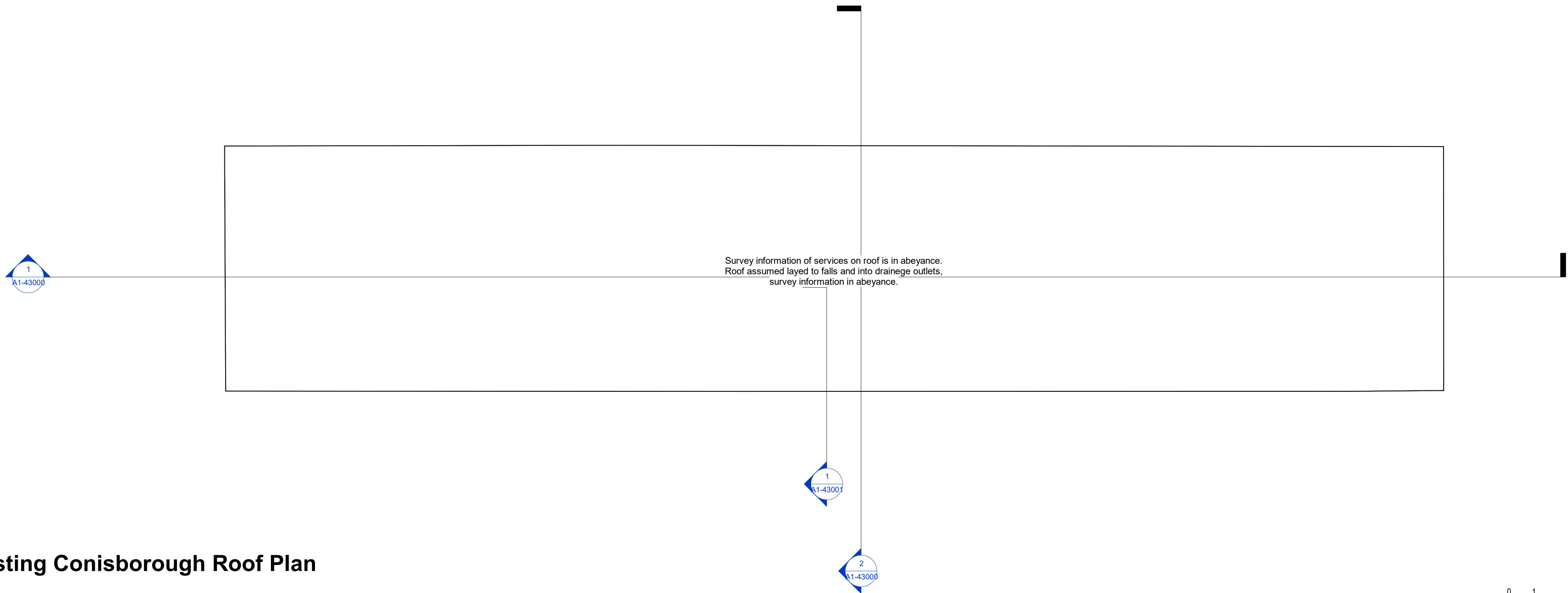
D2 - Suitable for Tender

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:100	FG	GS	BLR	24/07/2024

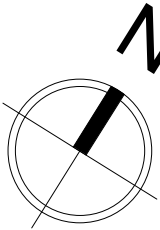
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
35120	BGL	A1	ZZ	DR	A	42001	P06

2 - Existing Conisborough Roof Plan

1 : 100



SCALE BAR 1:100



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A1

External Wall Insulation Types

External Wall Insulation Type 01

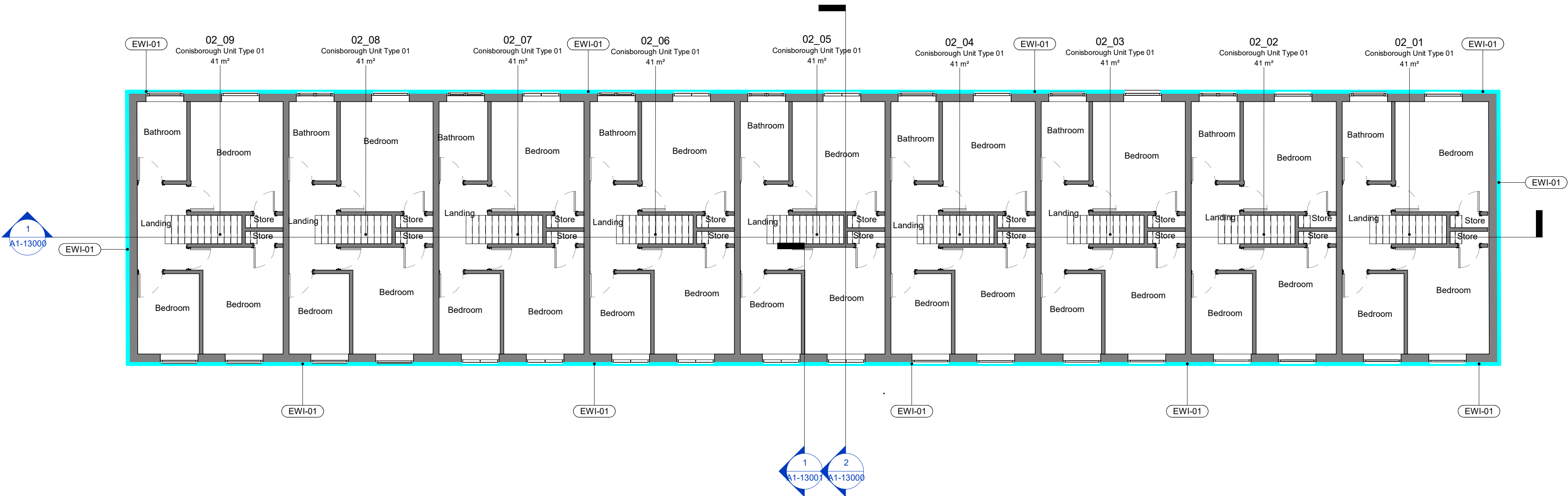
External Wall Insulation Type 02

Please refer to 21000 series for full information of EWI design and specifications.

Please refer to Structerm Project Specification '11578.S001 (EWI E1) NSC-R-SIL-LR (P2)' document for full EWI specification.

Unit Types

Please refer to 16000 series for full unit type layout information.



1 - Proposed Conisborough Second Floor Plan

1 : 100



Conisborough Site Plan

1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
P04	Planning Issue	03/05/2024
P03	Preliminary Issue to Client	26/04/2024
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Rev	Description	Date

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CLIENT		
EMPLOYER		

PROJECT ADDRESS

Camden Street
London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

Proposed Second Floor & Roof Plan w/ EWI Strategy

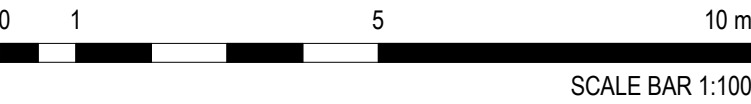
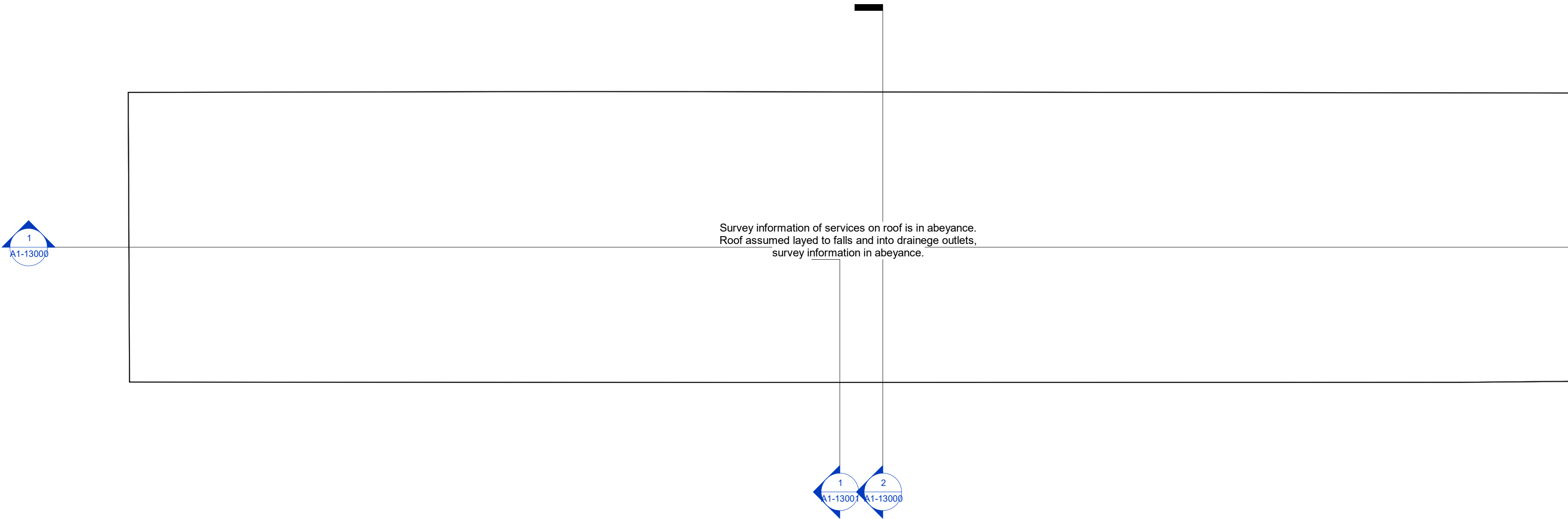
SUITABILITY CODE

D2 - Suitable for Tender

SCALE			DRAWN	CHECKED	APPROVED	DATE	
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35120 - BGL -		A1 -	ZZ -	DR -	A -	12001	P06

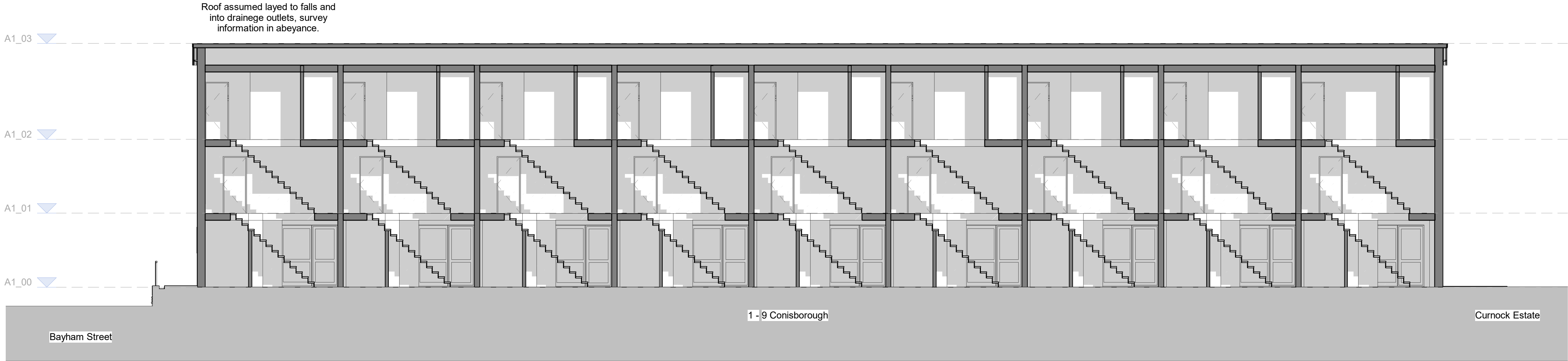
2 - Proposed Conisborough Roof Plan

1 : 100

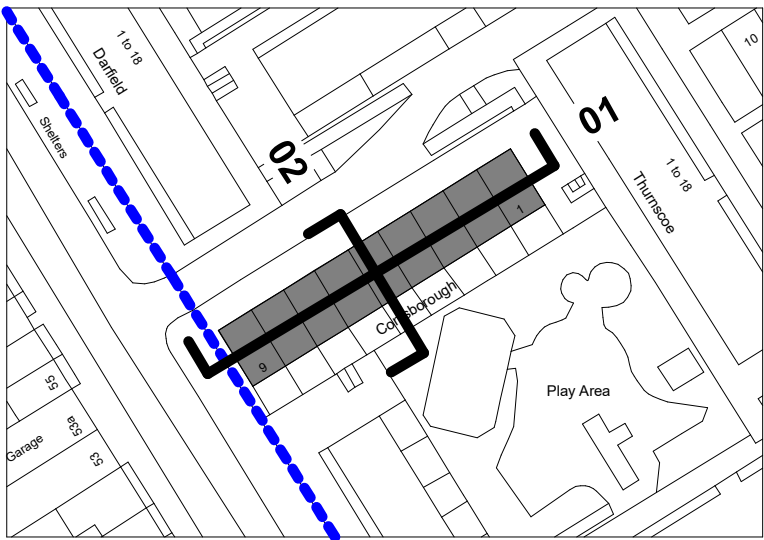


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A1




1 - Existing Connisborough Section 1
1 : 100



Conisborough Site Plan
1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	23/06/2024
P04	Planning Issue	03/05/2024
P03	Preliminary Issue to Client	26/04/2024
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P01	Preliminary Issue to Client	27/03/2024
Rev	Description	Date

CLIENT		Camden	Contact Camden Reception 5 Pancras Square London N1C 4AG t: 020 7874 4444
EMPLOYER			

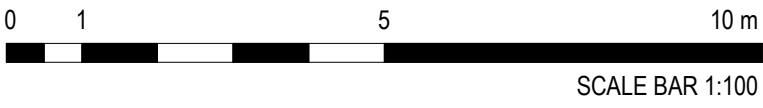
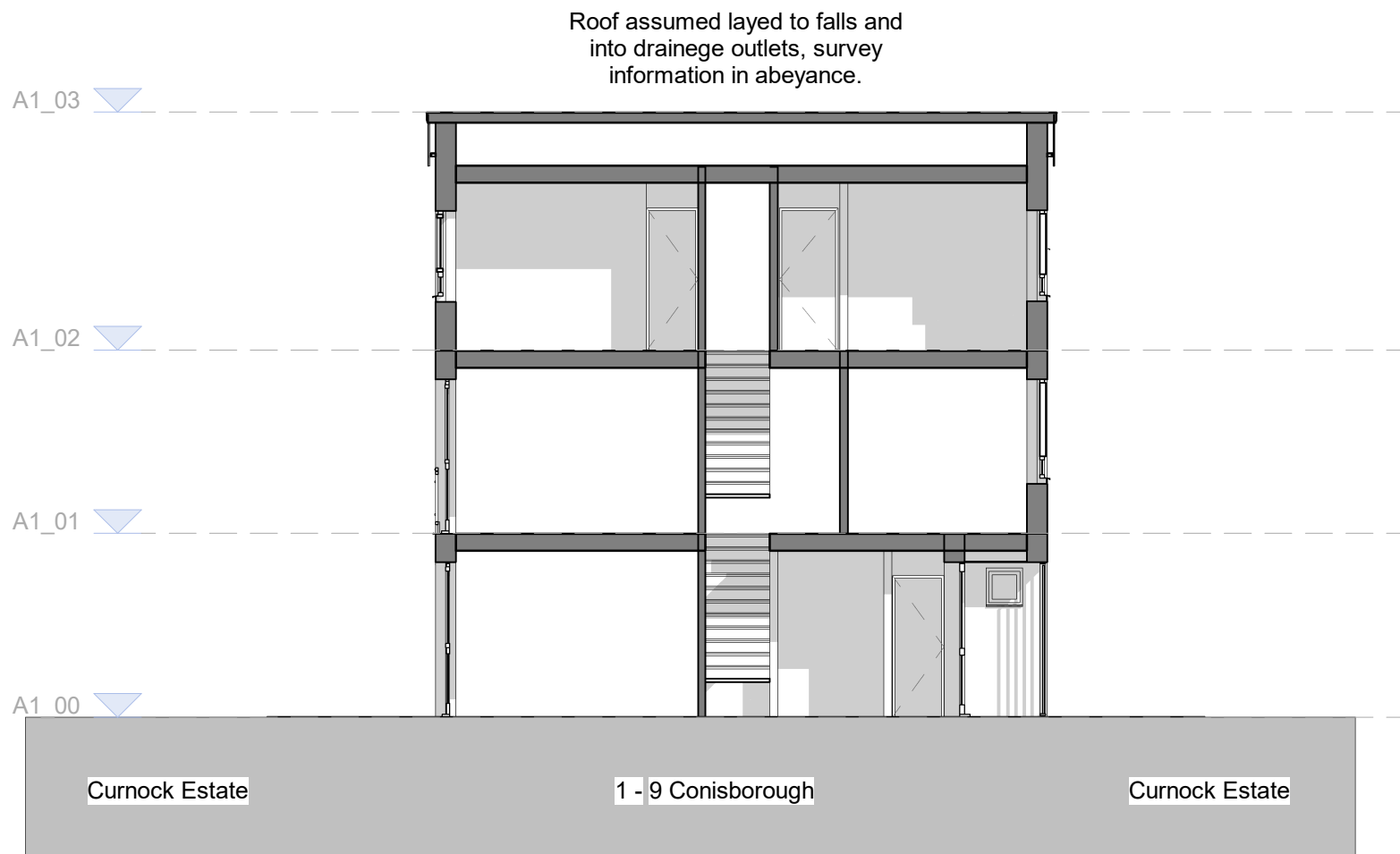
PROJECT ADDRESS
Camden Street
London
NW1 0LY

PROJECT NAME
Curnock Estate-Retrofit Works

DRAWING TITLE
Existing Sections

SUITABILITY CODE									
D2 - Suitable for Tender									
SCALE	DRAWN	CHECKED	APPROVED	DATE					
1:100	GS	FG	BLR	24/07/2024					
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO		
35120	BGL	A1	ZZ	DR	A	43000	P06		

2 - Existing Connisborough Section 2
1 : 100



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A1

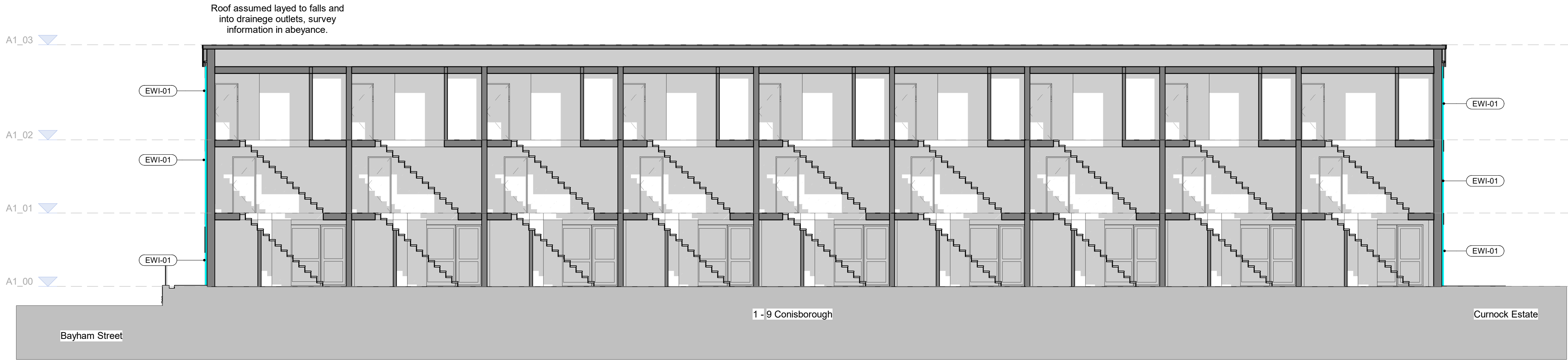
External Wall Insulation Types

External Wall Insulation Type 01

External Wall Insulation Type 02

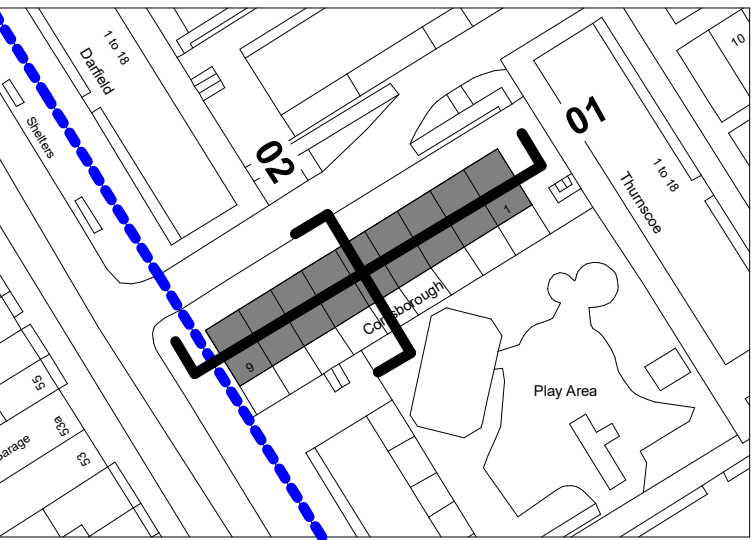
Please refer to 21000 series for full information of EWI design and specifications.

Please refer to Struthern Project Specification '11578.S001 (EWI E1) NSC-R-SIL-LR (P2)' document for full EWI specification.



1 - Proposed Connisborough Section 1

1 : 100



Connisborough Site Plan

1 : 1000

P07	Tender Drawings	24/07/2024
P06	Building Heights for Fire Engineer	22/07/2024
P05	Planning Issue	23/06/2024
P04	Planning Issue	03/05/2024
P03	Preliminary Issue to Client	26/04/2024
P02	Preliminary Issue to Client	12/04/2024
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CLIENT		
EMPLOYER		

PROJECT ADDRESS

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London
NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

Proposed Sections

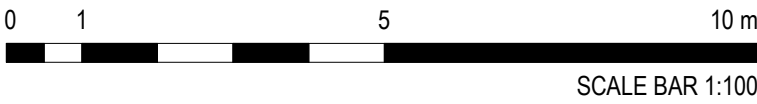
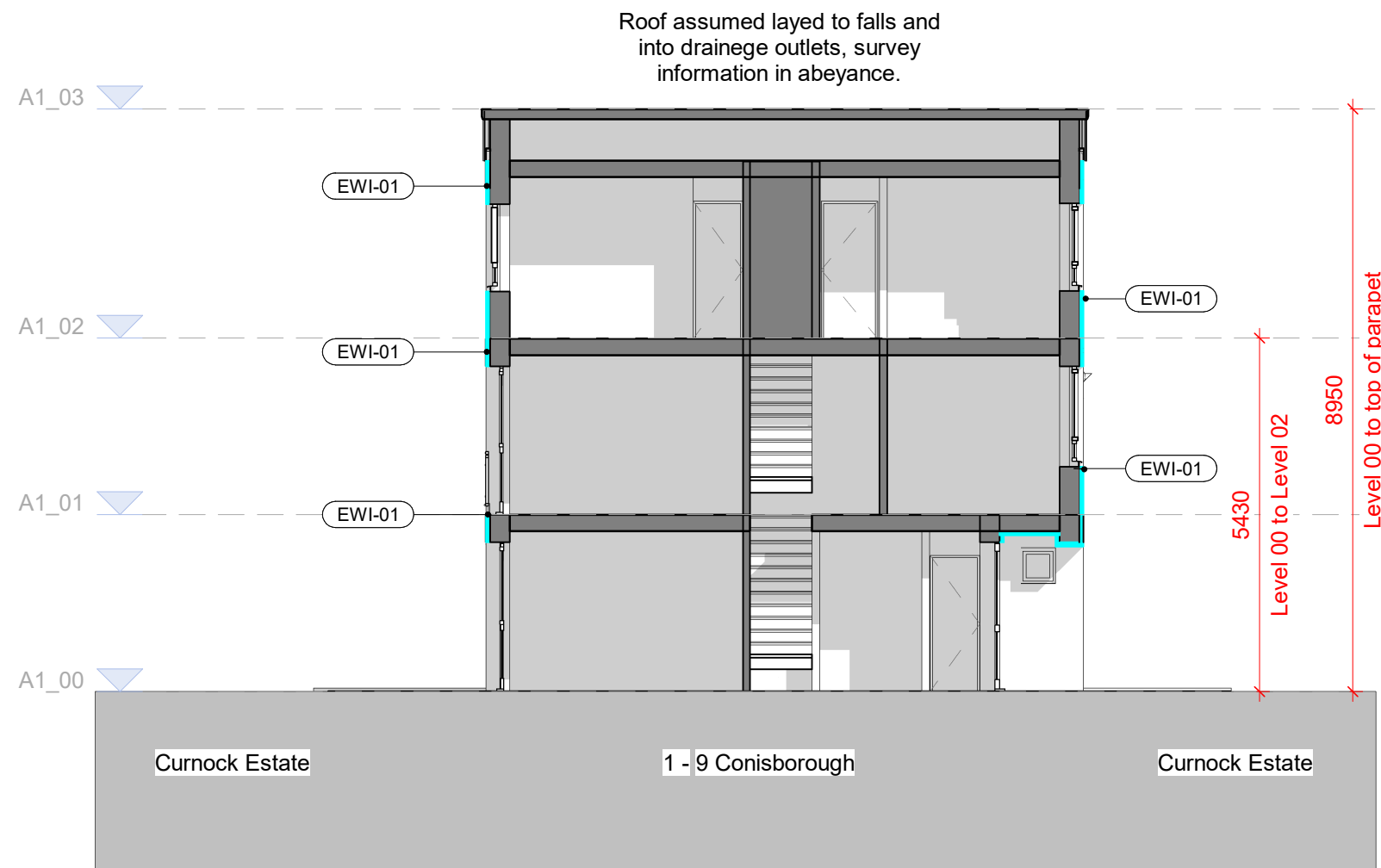
SUITABILITY CODE

D2 - Suitable for Tender

SCALE	DRAWN		CHECKED	APPROVED		DATE	
1:100	FG		GS	BLR		24/07/2024	
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
35120	BGL	A1	ZZ	DR	A	13000	P07

2 - Proposed Connisborough Section 2

1 : 100



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A

Roof assumed layed to falls and into drainege outlets, survey information in abeyance.

A1_03

A1_02

A1_01

#AZ_00

1 - Existing Connisborough Height Rod 01

1 : 20

Please note: Height Rods are indicative and do not show the true construction of the existing structure - existing structure has been assumed. Height Rod is to be used for visual purposes only and are not considered to be for construction.

External Wall Insulation Types

External Wall Insulation Type 01

External Wall Insulation Type 02

Please refer to 21000 series for full information of EWI design and specifications.

Please refer to Struchterm Project Specification 11578.S001 (EWI E1) NSC-R-SIL-LR (P2)' document for full EWI specification.

Assumed Existing Construction - Detail information to be treated as indicative, Existing Construction has not been surveyed.



Conisborough Site Plan

1 : 1000

P06	Tender Drawings	24/07/2024
P05	Planning Issue	20/06/2024
P04	Planning Issue	03/05/2024
P03	Preliminary Issue to Client	26/04/2024
P02	Preliminary Issue to Client	12/04/2024
P01	Preliminary Issue to Client	27/03/2024
Rev	Description	Date



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EMPLOYER

PROJECT ADDRESS

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NW1 0LY

PROJECT NAME

Curnock Estate-Retrofit Works

DRAWING TITLE

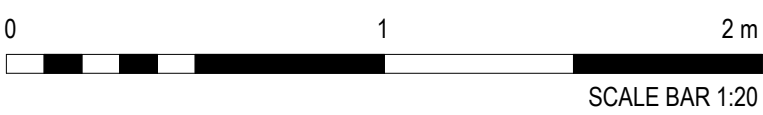
Existing Height Rod

SUITABILITY CODE

D2 - Suitable for Tender

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:20	FG	GS	BLR	24/07/2024

PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
35120	BGL	A1	ZZ	DR	A	43001	P06



A1_03

A1_02

A1_01

#AZ_00

Roof assumed layed to falls and into drainage outlets, survey information in abeyance.

EWI-01

EWI-01

EWI-01

1 - Connisborough Proposed Height Rod 01

1 : 20

Please note: Height Rods are indicative and do not show the true construction of the existing structure - existing structure has been assumed. Height Rod is to be used for visual purposes only and are not considered to be for construction.

The contractor is responsible to ensure that no products are to be utilised that do not comply with relevant British and/or European Standards and/or Codes of Practice, COSH Regulations, Construction Regulations, or which are known or suspected at the time of product selection and/or construction to be deleterious to health and safety or to the durability of the work or not in accordance with good building practices.
The contractor is responsible for checking dimensions, tolerances, levels and references. This drawing/model is to be read in conjunction with all relevant Other Project Team Members' or specialists' drawings/models/any Federated Model. Any discrepancy is to be notified to Baily Garner LLP and is to be rectified before proceeding with the works on site or shop drawings. Where an item is covered by drawings to different scales, the larger scale drawing is to be worked to.
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The drawing to be read in conjunction with Document Suitability Codes page or at www.bailygarner.co.uk/discclaimer/

External Wall Insulation Types

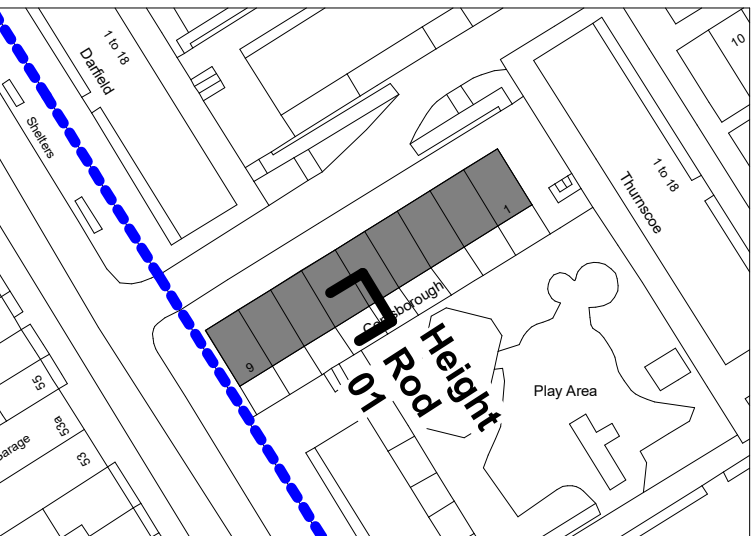
External Wall Insulation Type 01

External Wall Insulation Type 02

Please refer to 21000 series for full information of EWI design and specifications.

Please refer to Struthern Project Specification '11578.S001 (EWI E1) NSC-R-SIL-LR (P2)' document for full EWI specification.

Assumed Existing Construction - Detail information to be treated as indicative, Existing Construction has not been surveyed.



Conisborough Site Plan

1 : 1000

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CLIENT		Contact Camden Reception 5 Pancras Square London N1C 4AG t: 020 7874 4444	
<hr/>			
EMPLOYER			

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Camden Street
London
NW1 0LY

PROJECT NAME
Curnock Estate-Retrofit Works

DRAWING TITLE
Proposed Height Rod

SUITABILITY CODE

D2 - Suitable for Tender

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:20	FG	GS	BLR	24/07/2024
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP
35120	BGL	A1	ZZ	DR
ROLE	DRW NO	REV NO		
A	13001	P06		

